

## Signs

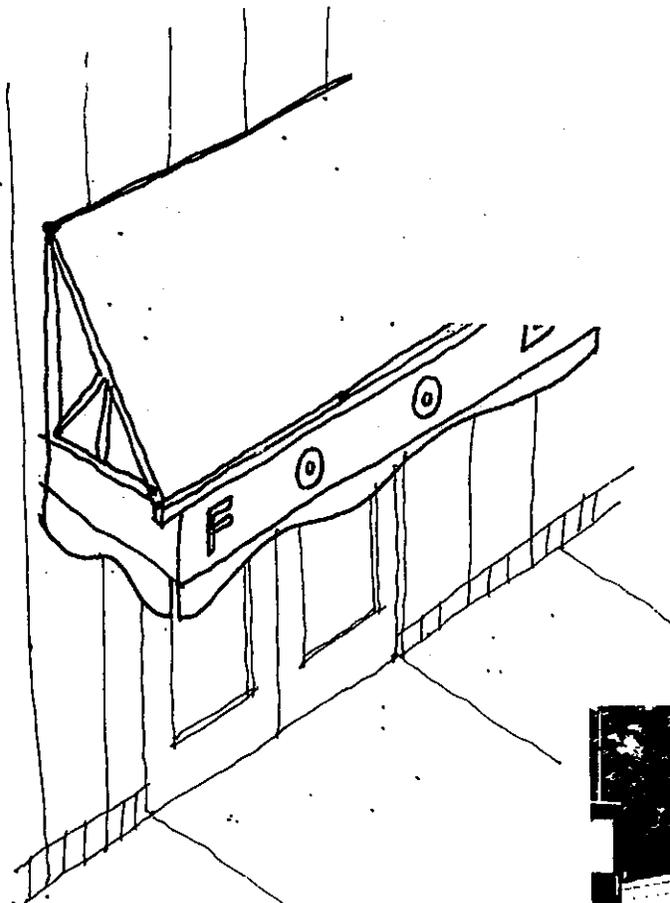
### Awning Signs

#### Intent:

To produce a visual effect that emphasizes buildings and vegetation, not advertising.

#### Guideline:

Signs painted on awnings are allowed, but awnings should not be internally illuminated.





**Guidelines Applicable to the Gateway Overlay District**



## Site Design

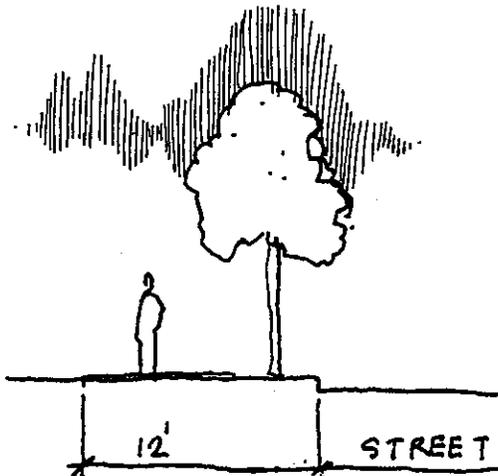
### Sidewalks and Street Trees

#### Intent:

To establish a pattern of urban sidewalks lined with regularly spaced street trees.

#### Guideline:

South of the intersection of SR 305 with Winslow Way, new development and redevelopment should provide sidewalks (or an expansion of the existing sidewalk) to a minimum width of 12 feet. Street trees should be provided along the curb line.



## Building Design

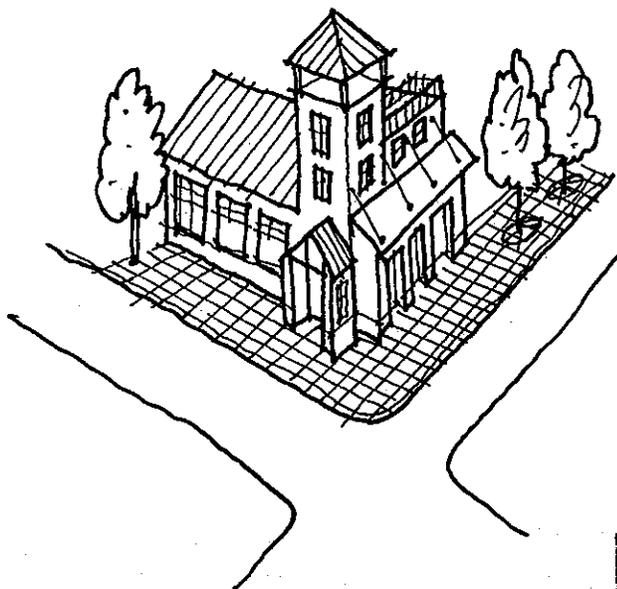
### Landmark Structures

#### Intent:

To have buildings contribute to this gateway location.

#### Guideline:

New or renovated buildings that abut the intersection of SR 305 should incorporate distinctive architectural elements to create a "gateway" effect at this key location. Elements can include very distinctive roof forms such as cupolas or dome or cone shapes, visually expressive facades, dramatic lighting, whimsical details, artwork, showcase windows, prominent masonry banding, etc. The intended effect is to eventually have all four corners occupied by buildings that are landmarks.



## Building Design

### Street Walls

#### Intent:

To have buildings visually and functionally interact with the public sidewalks.

#### Guideline:

Facades of new or renovated buildings that abut Winslow Way should abut the back of the sidewalk (some of which may be on private property in order to provide the width of sidewalk indicated elsewhere in these guidelines) . Parking shall not be located in front of buildings. Canopies or awnings over the sidewalk are encouraged.



## Building Design

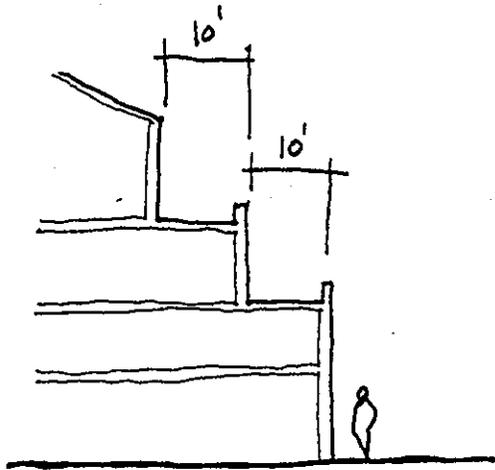
### Upper Level Stepbacks

#### Intent:

To reduce the bulk of buildings as they rise in height.

#### Guideline:

Above the second floor, upper floors should be stepped back at least 10' from the facade of the floor below along SR 305 and Winslow Way. The exception would be for an architectural form that would be located directly at the corner. Decks located above the second story may occupy the roof of the floor immediately below.



## Signs

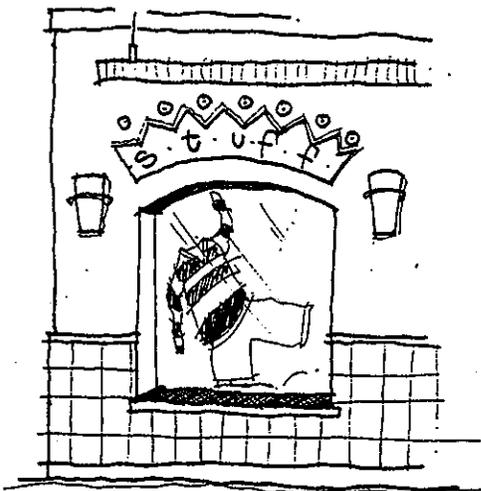
### Building-mounted Signs

#### Intent:

To have building facades be the principal location for announcing goods and services.

#### Guidelines:

Signs shall be located on the facades of buildings. (Freestanding pole-mounted or monument signs are not allowed.)





**Guidelines Applicable to the Central Core Overlay District**



## Site Design

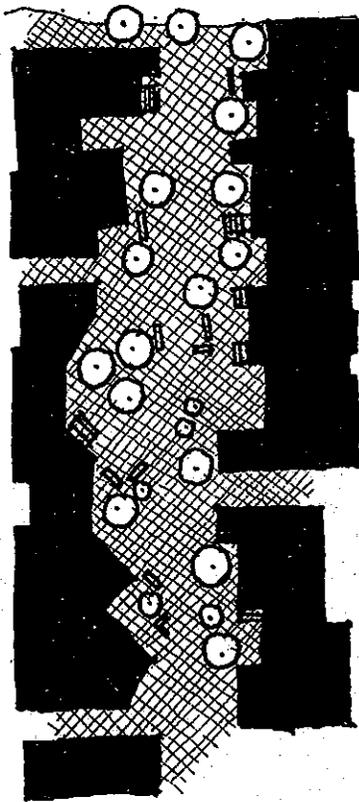
### Major Pedestrian Corridor

#### Intent:

To establish, over time, a continuous walkway from inland areas down to the waterfront.

#### Guideline:

As properties that are situated roughly midway between Madison Avenue and Ericksen Avenue are redeveloped, opportunities should be sought for a continuous, though perhaps winding, north/south pedestrian corridor. In return for providing this amenity, development would be allowed to have an additional FAR above that otherwise permitted by the land use code for this district. The corridor should be a minimum of 16 feet in width, with roughly half of the width consisting of paved surfaces and half of trees and other landscaping. Seating and lighting should also be provided.



## Site Design

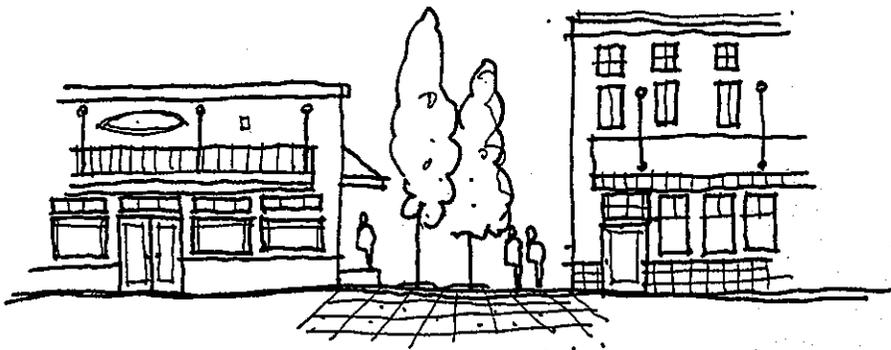
### Minor Pedestrian Passageways

#### Intent:

To create a network of walkways around and through the core area.

#### Guideline:

New development and redevelopment are encouraged to include passageways that cut through buildings. These can be simple walkways or can be more elaborate landscaped courtyards. They can be open to the sky or covered.



## Site Design

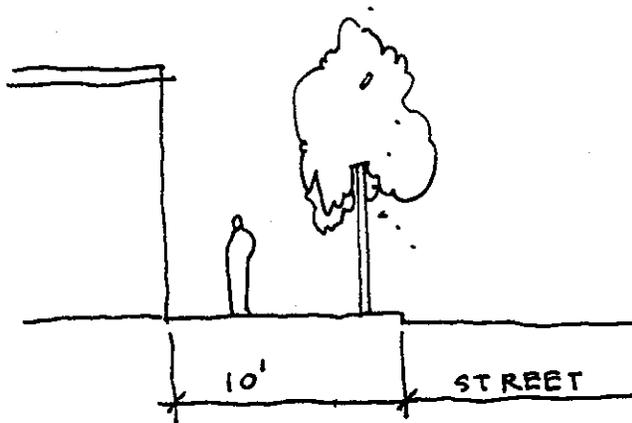
### Sidewalks and Street Trees

#### Intent:

To use sidewalks and street trees as a strong element of continuity throughout the core.

#### Guideline:

New development and redevelopment along Winslow Way and Madison Avenue should provide an expansion of the existing sidewalk width to 10 feet. Street trees should also be provided. The minimum caliper should be 2 1/2" and the maximum spacing should be 30.'



## Building Design

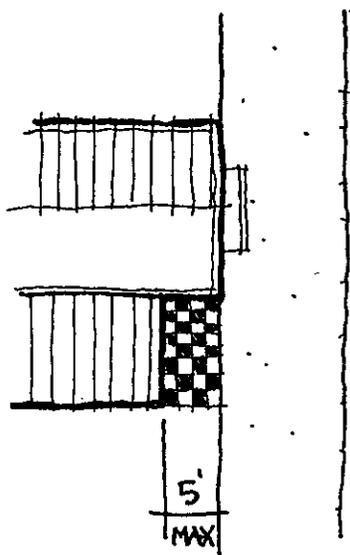
### Set-To Lines for Commercial Uses

#### Intent:

To establish a close relationship between activities within buildings and activities in the public right of way.

#### Guideline:

Commercial building facades on Winslow Way and Madison Avenue should abut the back of the sidewalk, or be within 5 feet of it. The exception would be locations where the City has identified the need to have a public space or a wider sidewalk.



## Building Design

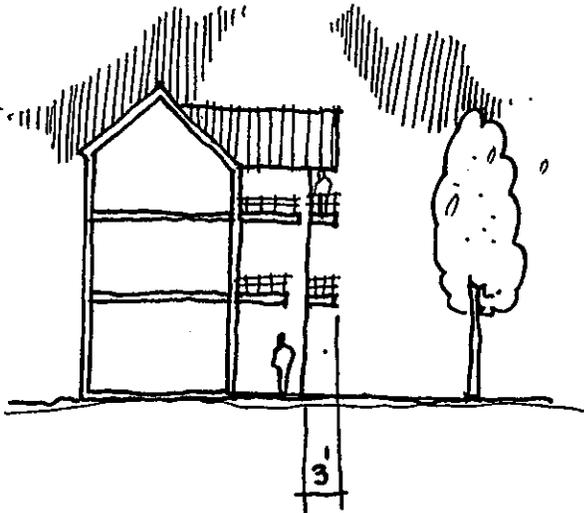
### Set Back Lines for Residential Uses

**Intent:**

To provide some degree of privacy for households living in the core.

**Guideline:**

Residential building facades along Winslow Way may be located at the back of the sidewalk. Balconies may extend over the sidewalk by up to three feet, provided they are at least ten feet above the sidewalk. Residential building facades along Madison Avenue should be located between 10 and 20 feet from the back of the sidewalk, although porches and balconies can extend into this space up to 5'.



## Building Design

### Ground Floor Transparency

**Intent:**

To provide visual connections between activities inside and outside buildings.

**Guideline:**

The ground floors of buildings that face sidewalks or pedestrian pathways should have generous amounts of clear glass that allows people to see into the building.



## Building Design

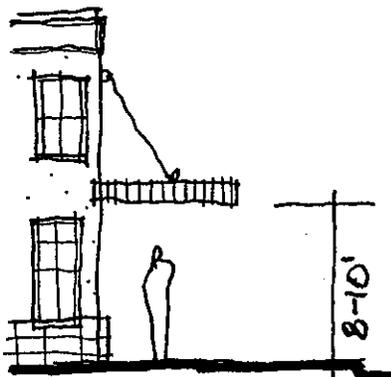
### Weather Protection

#### Intent:

To allow pedestrians some protection from rainfall as they use the town center.

#### Guideline:

Weather protection features such as canopies and awnings should be provided along Winslow Way and Madison Avenue. The minimum width of such elements is 4 feet. Minimum height is 8 feet; maximum height is 10'.



## Building Design

### Small Scale Building Increments

#### Intent:

To create an environment that is visually interesting and which offers physical elements scaled to human proportions.

#### Guideline:

The facades of buildings along Winslow Way and Madison Avenue should be divided into relatively small units, such as narrow storefronts, bays, and separated roof forms. Large, long uninterrupted walls are not desired. Blank, windowless walls are not allowed.



## Building Design

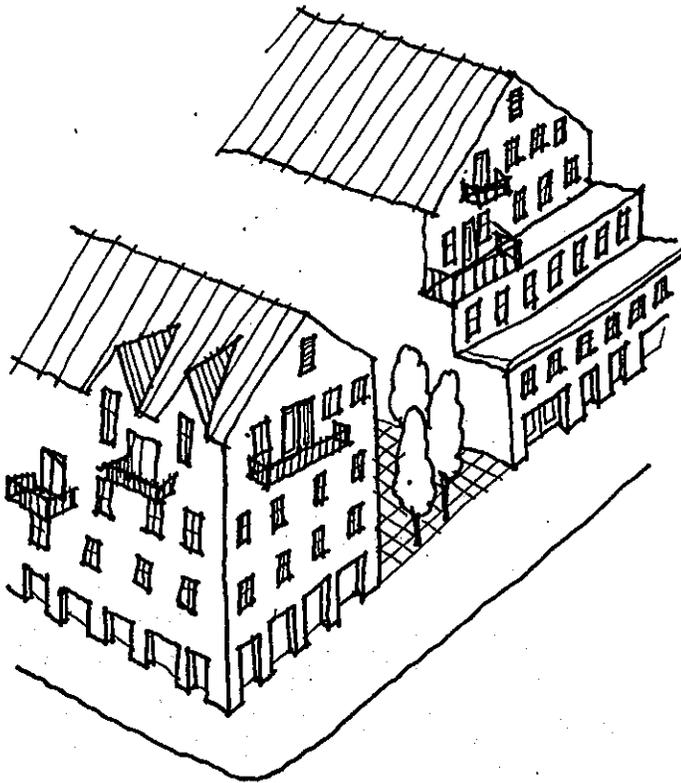
### Upper Level Stepbacks

#### Intent:

To reduce the bulk of buildings as they rise in height.

#### Guideline:

Along Winslow Way and Madison Avenue, building facades above the second story should be stepped back at least 10 feet from the facade of the story below. The exception is at the intersection of these two streets, in which an architectural form located directly at the corner need not be set back. Balconies above the second story may also extend into the setback.



## Building Design

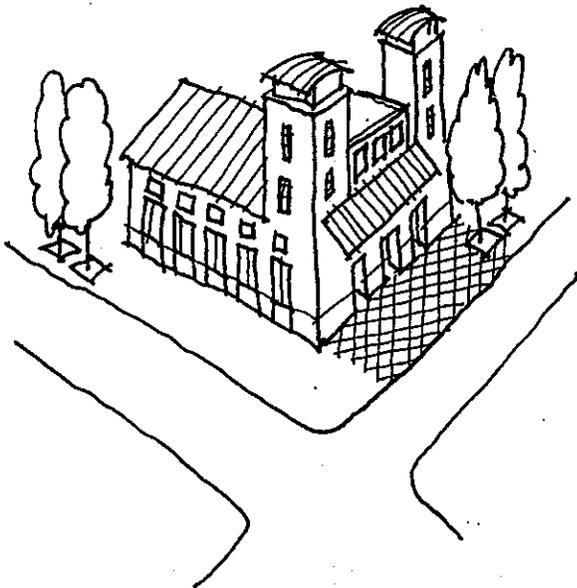
### Marking Important Intersections

**Intent:**

To create reference points at several key locations.

**Guideline:**

Structures located at the intersections of Winslow Way with Madison Avenue and Ericksen Avenue are encouraged to be visually prominent. This could be achieved by incorporating elements such as distinctive roof forms, building shapes that are unusual in geometry, and public plazas.



## Signs

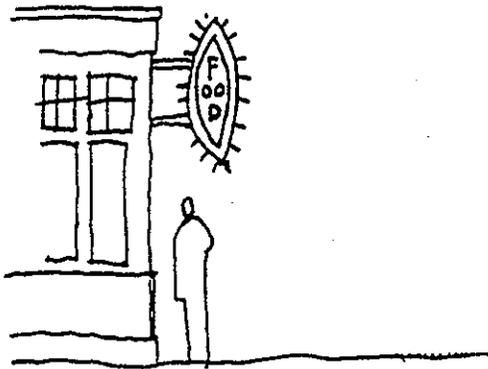
### Building-mounted Signs

#### Intent:

To have building facades be the principal location for announcing goods and services.

#### Guideline:

Signs should be located on the facades of buildings. (Freestanding pole-mounted or monument signs are not allowed.)



## Signs

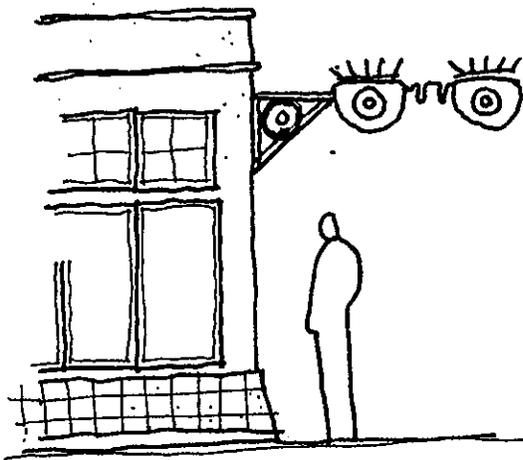
### Overhanging Signs

Intent:

To encourage signs oriented to pedestrians.

Guideline:

Signs that overhang the sidewalk and that are scaled to pedestrians are encouraged.



**Guidelines Applicable to the Ericksen Avenue Overlay District**



Site Design

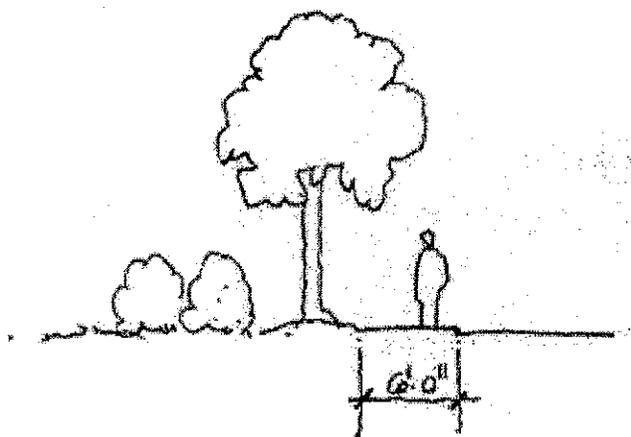
**Sidewalks**

Intent:

To establish a safe and convenient means of walking along the street.

Guideline:

As redevelopment occurs, sidewalks should be provided. The minimum width should be 6 feet.



## Site Design

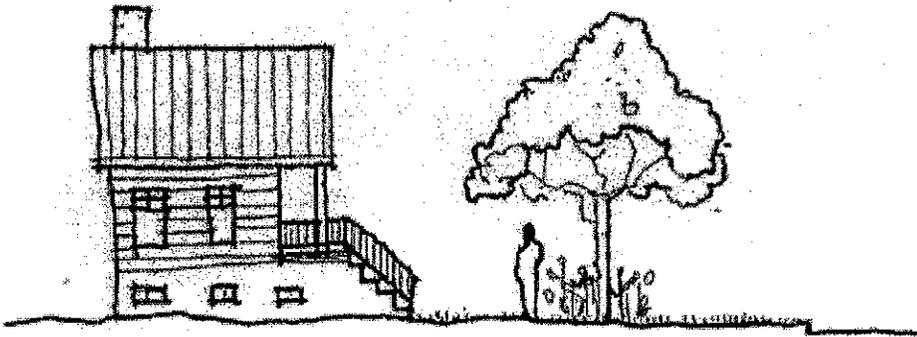
### Landscaped Front Setbacks

#### Intent:

To reinforce the historic pattern of development along this corridor.

#### Guideline:

Along Ericksen, front setbacks, should be provided. Such setbacks should be landscaped with grass, trees, ground cover, and/or seasonal flowers.



## Building Design

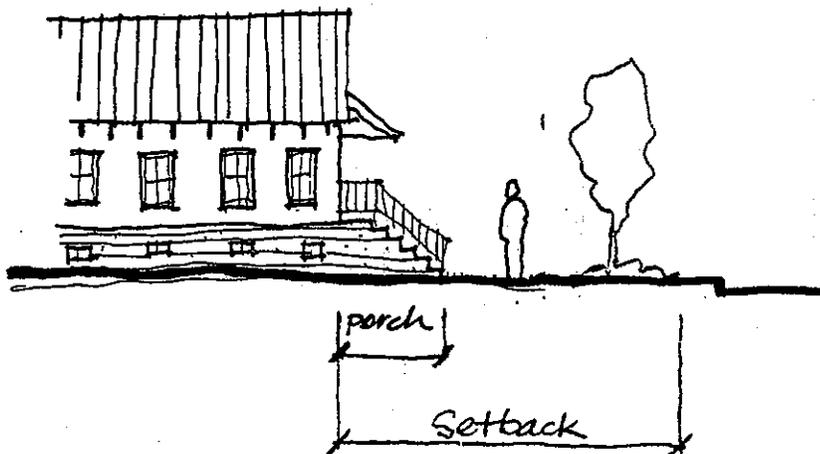
### Setbacks

Intent:

To reinforce the historic pattern of development along this corridor.

Guideline:

Buildings should be set back from the front property line in accordance with the Zoning Ordinance. (The code allows porches and bay windows to intrude into the setback.)



## Building Design

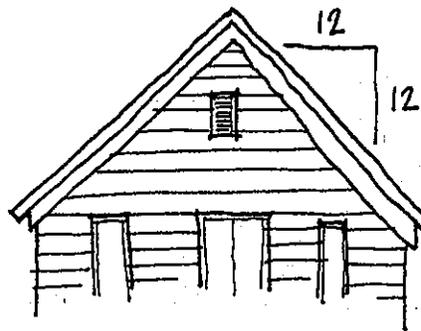
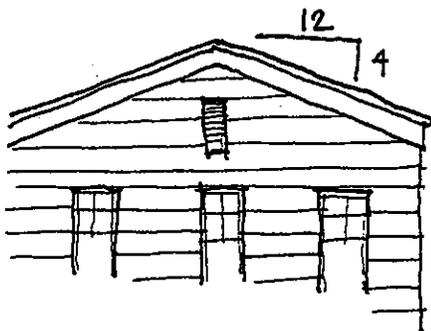
### Pitched Roofs

Intent:

To continue the historic pattern of building forms.

Guideline:

Buildings should incorporate pitched roof forms having one or more visible ridge lines. Roof pitch should be at least 4:12 and no more than 12:12.



## Building Design

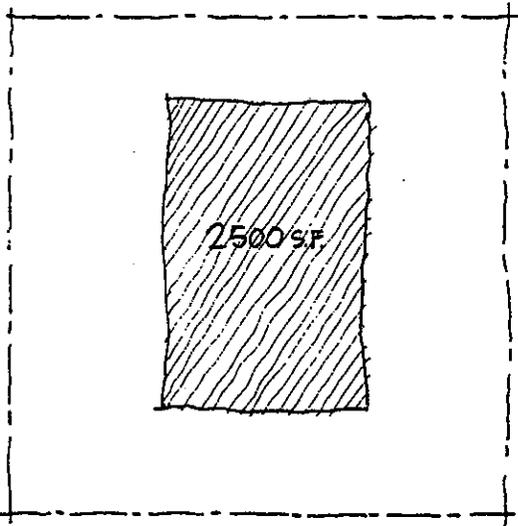
### Maximum Building Footprint

**Intent:**

To ensure that the scale of new development does not contrast radically from the historic structures.

**Guideline:**

The footprint of any building should not exceed 2500 sf.



## Building Design

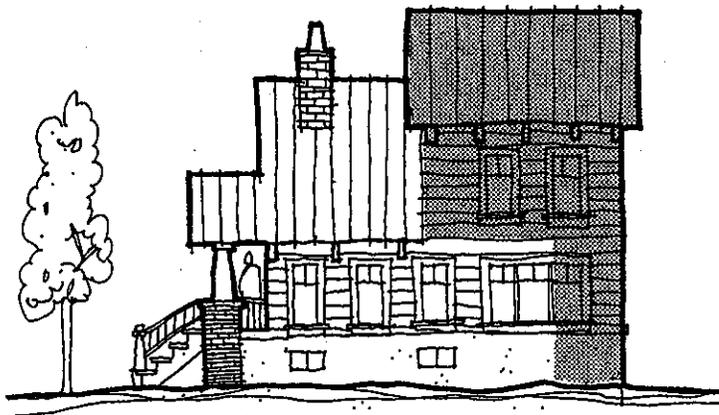
### Additions Toward Rear

#### Intent:

To ensure that the turn-of-the-century residential character of Ericksen predominates visually while allowing for reinvestment.

#### Guideline:

Any additions to existing residential structures should be located to the rear and should be consistent with the character of the older structure.



**Signs**

**Lighting**

**Intent:**

To have signs along this corridor be very unobtrusive.

**Guideline:**

Signs having internal illumination are not allowed.

